

SIGNATURE OF I.B.S./I.B.A.

STRUCTURAL CERTIFICATE

THE STRUCTURE DESIGN AND DRAWING OF BOTH FOUNDATION AND SUPER STRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT.

TANUSRI DATTA
Empaneled Structural Engineer at
H.M.C. Class - I Regd. No. - 21
20+20/2/ Shalimar Road, Howrah-3
Mob: 986 026 525

SIGNATURE OF STRUCTURAL ENGINEER

DECLARATION OF OWNER/OWNERS

I/WE DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT
I/WE SHALL ENGAGE ARCHITECT & E.S.E. DURING CONSTRUCTION
I/WE SHALL FOLLOW THE INSTRUCTIONS OF ARCHITECT & E.S.E.
DURING CONSTRUCTION OF THE BUILDING (AS PER B.S. PLAN)
H.M.C AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURE STABILITY OF THE BUILDING &
ADJOINING STRUCTURES.
IF ANY SUBMITTED DOCUMENTS AREA FOUND TO BE FAKE, THE H.M.C AUTHORITY WILL REVOKE THE
SANCTION PLAN.
THE CONSTRUCTION OF WATER RESERVOIR & SEPTIC TANK WILL BE UNDER TAKEN UNDER THE
GUIDANCE OF E.S.E./ARCHITECT BEFORE STARTING OF BUILDING FOUNDATION WORK.
THE APPLICANT SHALL ARRANGE TO RAISE AND MAINTAIN THE PLANTATION AT HIS OWN COST AND
SUBMIT SUCH PROGRAMMED TO THE COMMISSIONER BEFORE THE PLAN IS APPROVED.

BOL BHAI BOL CONSTRUCTION

Proprietor

PROPOSED G+4 STORIED RESIDENTIAL BUILDING AT

83 NILMONI MULICK LANE LANE, P.S.-HOWRAH, WARD NO.-19,

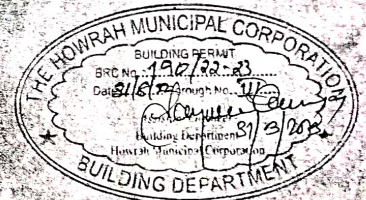
BGROUGH-III, DIST.-HOWRAH-711101 UNDER H.M.C.

H.M.C. SEAL



EKIS ICS

ARCHITECT, ENGINEERS & CONSULTANT
OFFICE: 21/2 SHALIMAR ROAD
Near: Shalimar Station (Panch Vanjan Hotel)
PH - 034 2666-7277 (OFF) MO: 9831291562



DRAWN BY: ARPITA MANNA SHEET NO.-1/3

AREA STATEMENT:

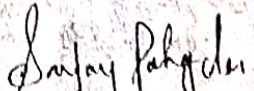
AREA OF LAND=5K 02CH 30 SQ.FT.=345.596 SQ.M.
PERMISSIBLE GROUND COVERAGE (55.15%) = 190.596 SQ.M.
PERMISSIBLE F.A.R.=1.75
PERMISSIBLE TOTAL FLOOR AREA ON ALL FLOOR=(345.596X1.75)=604.793 SQ.M.
PERMISSIBLE HEIGHT OF THE BUILDING=15.5 M.
PROPOSED HEIGHT OF THE BUILDING=15.40 M.
PROPOSED GROUND COVERAGE=126.064 SQ.M.(36.47%)
PROPOSED GROUND FLOOR AREA=126.064 SQ.M.
PROPOSED FIRST FLOOR AREA=123.994 SQ.M.
PROPOSED SECOND FLOOR AREA=123.994 SQ.M.
PROPOSED THIRD FLOOR AREA=123.994 SQ.M.
PROPOSED FORTH FLOOR AREA=123.994 SQ.M.
PROPOSED TOTAL FLOOR AREA=622.040 SQ.M.
STAIR HEAD ROOM AREA=14.596 SQ.M.
LIFT MACHINE ROOM AREA=9.139 SQ.M.
SERVICE AREA AT TYPICAL FLOOR=56.628 SQ.M.
SERVICE AT GROUND FLOOR=16.227 SQ.M.
REQUIRED TREE GREEN COVER AREA=5.374 SQ.M.
PROPOSED TREE GREEN COVER AREA=20.12 SQ.M.

EXEMPTED AREA

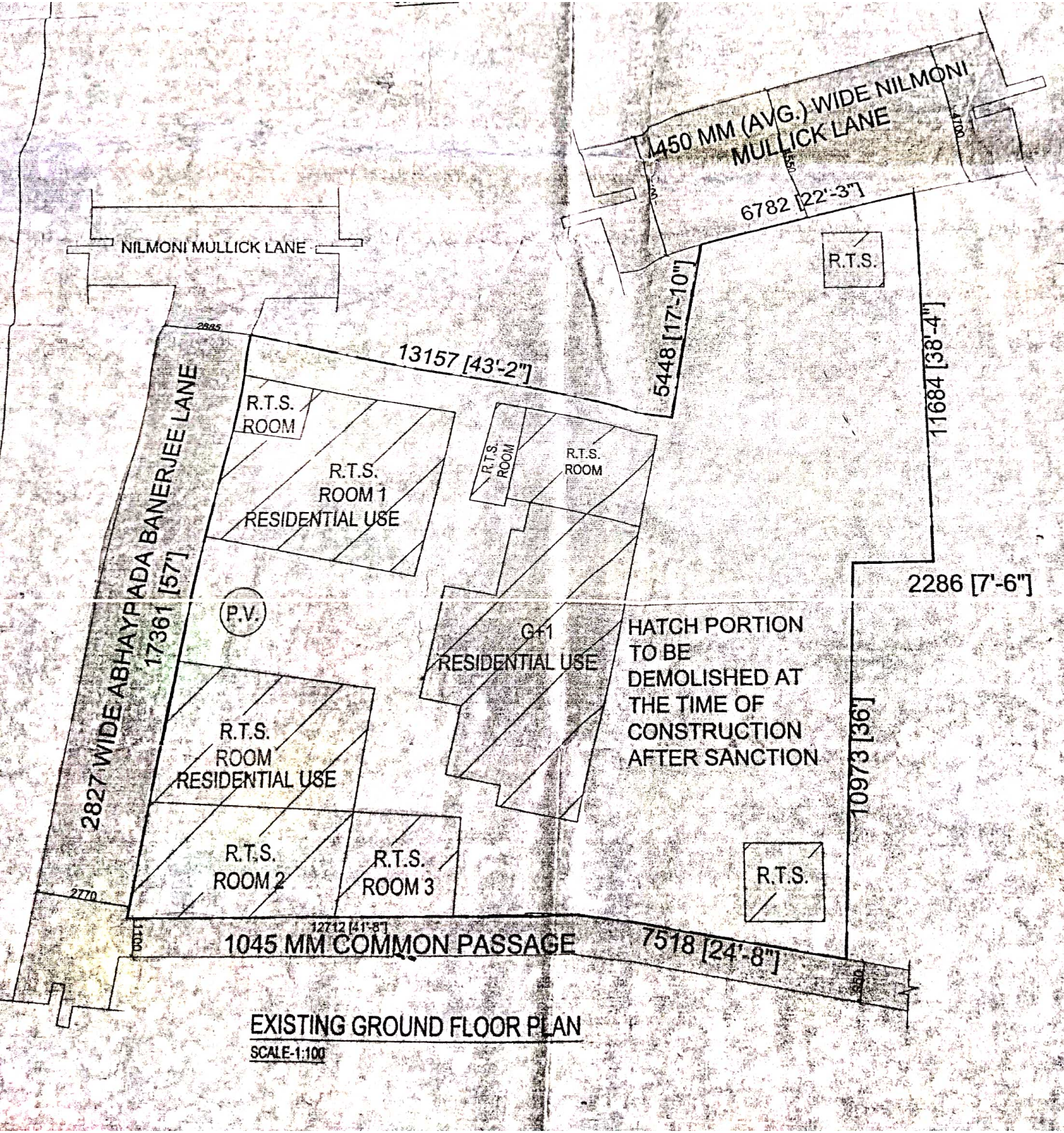
STAIR AREA=(2.4X4.95)=11.88 SQ.M.
STAIR WELL AREA=(0.2X2.25)=0.45 SQ.M.
LIFT WELL & LOBBY AREA AT GROUND FLOOR=3 SQ.M.
LIFT LOBBY AREA=(1.325X1.475)=1.954 SQ.M.
CAR PARKING AREA=2X25=50 SQ.M.
TOTAL EXEMPTED AREA=[11.88+3+((11.88-0.45)+1.954)X5]+50=[(14.314X5)+50]=118.416 SQ.M.
NET TOTAL FLOOR AREA EXCLUDING EXEMPTED AREA=(622.04-118.416)=503.624 SQ.M.
PROPOSED F.A.R.=503.624/345.596=1.457

DECLARATION OF L.B.A./L.B.S.

CERTIFIED WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF K.M.C.
BUILDING RULES 2009 AS AMENDED FROM TIME TO TIME & THAT THE SITE CONDITION INCLUDING THE ABUTTING ROAD CONFORMS WITH THE PLAN, WHICH HAS BEEN MEASURED AND VERIFIED BY ME.
IT IS A BUILDABLE SITE AND NOT A TANK OR FILLED UP TANK.
THE LAND IS DEMARCATED BY BOUNDARY WILL THE THE PLOT IS BEYOND 500.0 MT. FROM C/L OF E.M. BYE PASS.
THE CONSTRUCTION OF U.G. WATER TANK AND SEPTIC TANK WILL BE COMPLETED BEFORE STARTING OF BUILDING FOUNDATION WORK.

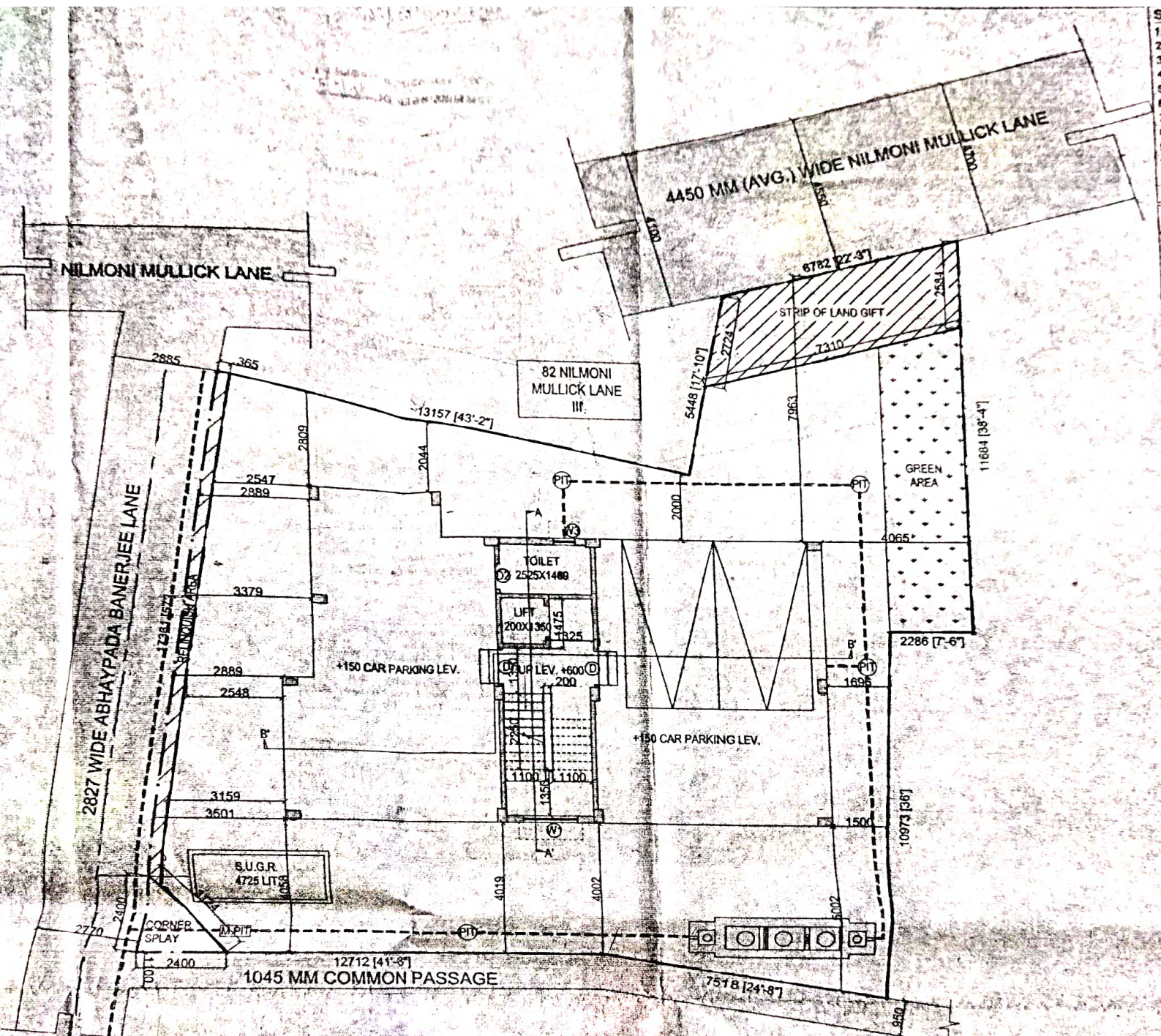

SANJAY PALANGDAR
L.B.S. Class-IIT-89
HOWRAH MUNICIPAL CORPORATION
242, SHAHJAHAN ROAD, HOWRAH
Mob: 98312 91567

SIGNATURE OF L.B.S./L.B.A.



EXISTING GROUND FLOOR PLAN

SCALE-1:100



**PROPOSED GROUND FLOOR PLAN
WITH DRAINAGE LAYOUT**
SCALE: 1:100



APPLICANT HAS TO EXHIBIT AT A CONSPICUOUS PLACE:-

PREMISES NO.:-
NAME OF THE I.B.A. / L.B.S.
NAME OF THE STRUCTURAL ENGG.:-
NAME OF THE GEO-TECHNICAL ENGINEER
NAME OF OWNER:-
NAME OF THE APPLICANT
BUILDING PERMIT:-

THE SANCTION IS VALID
UP TO 28.02.2023

APPROVED AS PER ORDER OF
COMMISSIONER D. 16/2/23

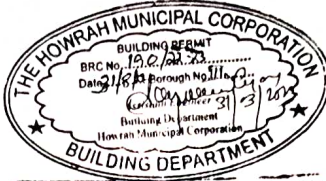
The applicant shall keep at the site one set of plans and Specifications and shall also exhibit at a Conspicuous place the number of the Premises. The Name of the Architect or Licensed Building Surveyor, Structural Engineer and Geo Technical Engineer, Name of Owner and Number and date of the Building Permit.

CONSTRUCTION SITE SHALL BE MAINTAINED TO PREVENT MOSQUITO BREEDING IN SUCH MANNER SO THAT ALL WATER COLLECTION & PARTICULARLY LIFT WELLS, VATS, BASEMENT CURING SITES, OPEN RECEPTACLES ETC. MUST BE EMPTIED COMPLETELY TWICE A WEEK.

Sanctioned Conditionally on undertaking from the owner that if any part of the building to be constructed falls within the alignment of HMC, the same will be demolished by the owner at his/her risk and for this the owner will not claim any compensation from HMC

Plan for water connection arrangement SEMI U. G. should be submitted at the Office of the Assistant Engineer of Borough and sanction to be obtained before proceeding with the work of Water Supply. Any deviation may lead to disconnection / demolition.

No rain water pipe should be fixed or discharged on Road or Footpath. Drainage plan should be submitted to the Borough Assistant Engineer's Office and the sanction obtained before proceeding with the drainage work.



Structural plan and design calculation is submitted by the structural engineer have been kept with B.F. No. B.R.E. 192/2023 Date 21/2/23 for record of the Howrah Municipal Corporation without variances. Attention from the submitted structural plan should be taken the time of erection without submitting fresh structural plan along with design calculation and stability certificate in the prescribed form, necessary steps should be taken for the safety of the adjoining premises public and private properties and safety of Human Life during construction.

[Signature]
Assistant Engineer
Building Department
Howrah Municipal Corporation

Sanctioned subject to demolition of existing structure to provide open space as per plan before construction is started.

Before starting any Construction site must conform with the plan sanctioned and all the conditions proposed in the plan should be fulfilled.

The validity of the written permission to execute the work is subject to above conditions.

The Building Materials necessary for construction should conform to standard specified in the National Building Code of India.

Design of all structural Members including that of the foundation should conform to Standards specified in the National Building Code of India.

Non Commencement of Erection / Re-Erection within Two Year will Require Fresh Application for Sanction.

RESIDENTIAL BUILDING

DEVIATION WOULD MEAN DEMOLITION

Necessary steps should be taken for the safety of the lives of the adjoining public and private properties during construction. Also to avoid pollution as per V.3PCB Guidelines in VAGUS.

CORRECTION
BRC No. 192/2023
PLAN
Vard No. 110
Sub. Asst. Engineer
Bldg. Department
Howrah Municipal Corporation